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## EXTRAORDINARY PLANNING COMMITTEE AGENDA

**Membership:** Councillor Guest (Chairman)

Councillors Keast, Lowe, Patel, Pike, Robinson and Mrs Shimbart (Vice-Chairman)

Standing Deputies: Councillor Prad Bains and Councillor Yvonne Weeks

**Meeting:** Extraordinary Planning Committee

**Date:** 18 March 2021

**Time:** 5.00 pm

**Venue:** Skype for Business - Skype for Business

The business to be transacted is set out below:

Gill Kneller  
Chief Executive

9 March 2021

Contact Officer: Mark Gregory 023 9244 6232  
Email: [mark.gregory@havant.gov.uk](mailto:mark.gregory@havant.gov.uk)

**Can Councillors Please Submit Any Detailed Technical Questions on The Items Included In This Agenda To The Contact Officer At Least 4 Hours Before The Meeting Starts.**

	Page
<b>1 Apologies</b>	
To receive apologies for absence.	
<b>2 Declarations of Interest</b>	
<b>3 Applications for Development and Other Development Control Matters</b>	<b>1 - 4</b>

**3a APP/20/01180 - 193 London Road, Waterlooville 5 - 20**

Proposal: Change of use of premises from a mixed use (B&B and dwelling) to a Children's Home.

[Additional Information](#)

**3b APP/21/00063 - 1-2 Church Lane, Havant 21 - 42**

Proposal: First floor side extensions to incorporate new staircase and bathroom to numbers 1 and 2 Church Lane, together with replacement windows and doors.

[Additional Information](#)

## **GENERAL INFORMATION**

**IF YOU WOULD LIKE A VERSION OF THIS AGENDA IN LARGE PRINT, BRAILLE, AUDIO OR IN ANOTHER LANGUAGE PLEASE CONTACT DEMOCRATIC SERVICES ON 023 92 446 231**

### **Internet**

This agenda and its accompanying reports can also be found on the Havant Borough Council website: [www.havant.gov.uk](http://www.havant.gov.uk). Would you please note that committee reports are subject to changes and you are recommended to regularly check the website and to contact *Mark Gregory (tel no: 023 9244 6232)* on the afternoon prior to the meeting for details of any amendments issued.

### **Public Attendance and Participation**

The meeting will be streamed live online to enable members of the public to watch in real time. The meeting will also be recorded and the recording will be published on the council's website.

IP addresses will not be collected, however in order to function, Skype for Business collects background data limited to when a user enters and leaves the meeting and the web browser version used. Data collected will be kept and recorded for the purposes of this meeting.

Members of the public, County Councillors, and Non-Members of the Development Management Committee may submit a written deputation to meetings of the Development Management Committee provided that it relates to an item on the Agenda for a particular meeting.

If there has been a deputation within six months of any previous appearance on the same or similar topic (irrespective of whether or not the member(s) of the deputation might be different) then no such new deputation will be received until that time limit has expired. However, "same or similar topic" does not apply to applications for planning permission considered by the Development Management Committee.

A copy of a deputation must be received by the Democratic Services Team not later than 48 hours before the start of the meeting (other than when the meeting is on a Monday, when notice has to be in by the previous Wednesday). Written deputations may be sent by email to the address set out below.

A deputation from a member of the public, agent or a County Councillor may be no longer than 750 words (including footnotes). A deputation from a Havant Borough Councillor, who is not a member of the meeting, shall be no longer than 1,500 words (including footnotes). A deputation may not contain images or photographs.

All written deputations will be published on the Council's website at least 24 hours before the start of the meeting. There will be no opportunity to respond to a written deputation after it has been published, unless the response is to

correct a technical error and is received 4 hours before the start of the meeting.

Written Deputations may be sent to:

By Email to: [DemocraticServices@havant.gov.uk](mailto:DemocraticServices@havant.gov.uk)

By Post to :

Democratic Services Officer  
Havant Borough Council  
Public Service Plaza  
Civic Centre Road  
Havant, Hants P09 2AX

Delivered at:

Havant Borough Council  
Public Service Plaza  
Civic Centre Road  
Havant, Hants P09 2AX

marked for the Attention of the "Democratic Services Team"

### **Who To Contact If You Wish To Know The Outcome Of A Decision**

If you wish to know the outcome of a particular item please contact the Contact Officer (contact details are on page i of the agenda)



# Havant

## BOROUGH COUNCIL

### PROTOCOL AT MEETINGS – RULES OF DEBATE

#### Meeting Protocol

- Microphones will be muted centrally unless it is a councillor/officers turn to speak. When unmuted centrally please note that a councillor/officer will also need to press the unmute button before speaking!
- Whilst being held remotely, the meeting remains a formal meeting of the council with the same rules of conduct. There is the potential for greater audience numbers due to people being able to watch from their own homes. The meeting will also be recorded and the recording publicly available.
- There is a viewing pane showing all participants on the left-hand side (clicking the icon depicting three people in the top left of the screen will open). This lists the attendees (committee members) in alphabetical order, which is useful to ascertain when you will have an opportunity to speak.

The Chairman will read out a detailed introduction to outline how the meeting will run.

#### Apologies for Absence

Will be read by the Democratic Services Officer.

#### Confirmation of Attendance/ Declarations of Interest/ Supplementary Matters

For expediency, the Chairman will ask each councillor in turn to confirm the above. Attendees will be able to mute and unmute their own microphones.

#### Confirmation of Minutes

The Chairman will ask each councillor in turn whether they have any amendments to the previous minutes. Either reply 'No amendments Chairman', or yes and clearly state the amendment.

The Chairman will ask for a proposer, at this point all microphones will be unmuted. The first councillor to speak, stating only their name 'Cllr X' will be taken as the proposer. The process will be repeated for the seconder.

#### Voting

When voting, the Chairman will ask each Councillor in turn, alphabetically, to state either 'FOR, AGAINST or ABSTAIN'. The Democratic Services Officer will confirm the voting numbers, following which the Chairman will declare the result of the vote.



## HAVANT BOROUGH COUNCIL

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### Planning Committee

#### **APPLICATIONS FOR DEVELOPMENT AND OTHER DEVELOPMENT CONTROL MATTERS REPORT BY THE DIRECTOR OF REGENERATION AND PLACE**

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#### **Applications to be determined by the Council as the Local Planning Authority**

Members are advised that all planning applications have been publicised in accordance with the Code of Practice for Publicity of Planning Applications approved at Minute 207/25/6/92, and have been referred to the Planning Committee in accordance with the Delegation Procedure for Determining Planning Applications 'Red Card System' approved at minutes 86(1)/4/97 and 19/12/97.

All views of consultees, amenity bodies and local residents will be summarised in the relevant report only if received prior to the report being prepared, **otherwise** only those views contrary to the recommendation of the Head of Planning will be reported **verbally** at the meeting of the Planning Committee.

***Members are reminded that all letters received are placed upon the application file and are available for Planning Committee Members to read on request. Where a member has concerns on such matters, they should speak directly to the officer dealing with the planning application or other development control matter, and if appropriate make the time available to inspect the file and the correspondence thereon prior to the meeting of the Planning Committee.***

The coded conditions and reasons for refusal included in the recommendations are set out in full in the Council's Manual of Model Conditions and Reasons for Refusal. The standard conditions may be modified to meet the specific circumstances of each individual application. Members are advised to bring their copies to the meeting of the Planning Committee.

In reaching decisions on the applications for development and other development control matters regard should be paid to the approved development plan, all other

material considerations, the views of consultees, the recommendations of the Head of Planning, and where applicable the views of the Site Viewing Working Party.

The following abbreviations are frequently used in the officers' reports:

HPS	Head of Planning Services
HCSPR	Hampshire County Structure Plan - Review
HBLP	Havant Borough Local Plan (comprising the adopted Core Strategy 2011 and saved policies from the District Wide Local Plan 2005. A related emerging document is the Draft Allocations Plan 2012)
HWLP	Hampshire, Portsmouth & Southampton Minerals & Waste Local Plan
NPPF	National Planning Policy Framework 2012
HBCCAR	Havant Borough Council Conservation Area Review
AONB	Area of Outstanding Natural Beauty
CA	Conservation Area
LB	Listed Building included in the list of Buildings of Architectural or Historic Interest
SAC	Special Area of Conservation
SINC	Site of Importance for Nature Conservation
SPA	Site identified as a Special Protection Area for the protection of birds under the Ramsar Convention
SSSI	Site of Special Scientific Interest
FP	Definitive Footpath
POS	Public Open Space
TPO	Tree Preservation Order
HBC	Havant Borough Council
GPDO	Town & Country Planning (General Permitted Development) Order
DMPO	Town & Country Planning (Development Management Procedure)(England) Order 2010 amended
UCO	Town & Country Planning (Use Classes) Order
S106	Section 106 Agreement
Ha.	Hectare(s)
m.	Metre(s)

## RECOMMENDATIONS

To reach decisions on the applications for development and other matters having regard to the approved development plan, all other material considerations, the views of consultees, the recommendations of the Head of Planning, and where applicable the views of the Site Viewing Working Party.

## **Implications**



**Resources:**

None unless detailed in attached report.

**Legal:**

Details set in the individual reports

**Strategy:**

The efficient determination of applications and making of other decisions under the Town & Country Planning Acts in an open manner, consistent with the Council's planning policies, Regional Guidance and Central Government Advice and Regulations seeks to ensure the appropriate use of land in the public interest by the protection and enhancement of the natural and historic environment; the promotion of the economy; the re-use of existing buildings and redevelopment of 'brownfield' sites; and the promotion of higher densities and good quality design in all new development all of which matters assist in promoting the aims of the Council's Community Strategy.

**Risks:**

Details set out in the individual reports

**Communications:**

Details set out in the individual reports

**Background Papers:**

Individual Applications with Case Officers

Simon Jenkins  
Director of Regeneration and Place

Daniel Toohey  
Monitoring Officer

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Following on from consultation with the Highway Authority it has been concluded that the development would not have a significant adverse impact on the highway network. As to parking and cycle provision this accords with Havant's Car Parking SPD.

To conclude, it is considered that the proposal would not cause significant harm to the locality or residential amenity and in highway and parking terms is acceptable. The proposal would accord with Policies CS7, CS16 and DM13 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

## **1 Site Description**

- 1.1 The lawful use of 193 London Road is currently that of a Bed and Breakfast establishment known as 'New Haven' and residential.
- 1.2 The approved plans for application ref: 91/56036 for the change of use of part of the property to B & B shows 6 bedrooms within the main house – 3 designated for use as Bed and Breakfast (2 double and 1 twin) and 3 family bedrooms. There is also a lounge for guests on the first floor served by a balcony. Currently the property has 4 en-suite bedrooms on the first floor, with 5 reception rooms on the ground floor, some of which have previously been used as bedrooms.
- 1.3 At the rear of the property is a detached single storey outbuilding (formerly a triple garage) that contains a further 4 bedrooms, which it is understood has been used as B & B accommodation since 2005, albeit not following the grant of planning permission. In front of the outbuilding is a tarmaced parking area, with vehicular access off Wallis Road.
- 1.4 The property has a modest enclosed rear garden area between the main house and the annex.
- 1.5 Surrounding properties are mostly residential, although there is a care home (Oakdene Residential Home) at 197 London Road and a nursing home (Two Beeches Nursing Home) at 2 Wallis Road close by.
- 1.6 The property is located close to local services and facilities. It is a short walk from the main commercial / shopping centre and is also close to a number of other local amenities, including Jubilee Park (play area), Park Wood and The Queens Inclosure (woodland). There are also a number of schools nearby, all within walking distance - Hart Plain Junior School, Cowplain Community School, Queen's Inclosure Primary School and Padnell Infant and Junior Schools.
- 1.7 Outside the site there are bus stops on both sides of the road providing direct and regular bus services into Waterlooville and also to Purbrook, Havant and Clanfield.

## **2 Planning History**

91/56036/000 - Use of part of premises for bed/breakfast, Permitted 16/05/1991.  
A condition limits the maximum number of guests to 6.

06/56036/001 - Provision of living accommodation in the loft space to include a dormer window to the rear elevation, Permitted 25/05/2006.

### **3 Proposal**

- 3.1 The proposal is for a change of use of the premises from a mixed use (B&B and a dwellinghouse) to a Children's Home (Class C2a Use).
- 3.2 A number of appeal cases have been provided by the agent which determine that the change of use of a dwelling to a children's home for 4 children, with a small number of staff, is not a material change of use and therefore does not need planning permission. In this instance, however, as the property has been used as a Bed and Breakfast establishment, as well as a dwellinghouse, it comprises a lawful mixed use and therefore planning permission is required to change it to a children's home. Had the property just been a dwellinghouse, the agent has advised a Certificate of Lawfulness application would have been submitted instead, to seek to establish that a children's home could operate from the premises for 4 children without the need for planning permission from the Local Planning Authority.
- 3.3 The agent also has confirmed that the home is licensed / inspected by Ofsted.
- 3.4 The applicant has advised how the proposed property would be used if permission is forthcoming, which is as follows:

*'The house will accommodate up to 4 children, between the ages of 10 and 18 years, who have experienced physical and/or emotional abuse or neglect and those with a Learning Disability (LD). Our primary aim and focus is to create a safe nurturing environment in which the children feel at home, where they feel supported to re-discover and if necessary, re-invent themselves safely and without prejudice, and we strive very hard to achieve this. This all occurs in a shared living setting which builds on social understanding and respect.'*

*The staff will be recruited on the basis of their skills, but also their energy, emotional resilience, empathy and integrity. We have a rigorous recruitment process which seeks to maintain a diverse, highly skilled, empathetic, self-aware staff team who are individually emotionally resilient and can offer good role modelling to the children.*

*We encourage the children to make a positive contribution to the local community and develop their skills through education, clubs, sports, music, recreation, and social interaction.'*

- 3.5 The agent goes on to advise:

*'The home will accommodate up to 4 children aged from 10 up to 18. The children will have been in foster care or other institutions and have a variety of needs and behaviours. Once the children reach 18, they become legally responsible for themselves and will therefore move out or be moved on to other supported accommodation.'*

*'The aim is to provide a 'home' environment where the children, supported by care workers, will be able to live as a single household, sharing facilities and experiences and spending time together – like a family unit – in order to provide them with a settled and stable home life.'*

*Each of the children will have their own en-suite bedroom, but will share the communal areas of the house such as the lounge / dining room, reception rooms, family room,*

*garden, etc. Like most family units there would be house rules, including eating meals together around the table every evening.'*

*'Non-residential staff will supervise the residents on a 24 hour shift system. During school hours and overnight (10pm – 7am) there would be a maximum of 2 care support workers in the property. Outside of these hours there could be up to 3 care workers, depending on the number of children residing in the home and their care needs. There would also be regular visits from a supervisor or manager.'*

*The staff will provide the children with care and support to meet their day to day requirements. This will include domestic duties, such as cooking, cleaning and washing, as well as providing individual care support and making sure the children get to school and picked up and attending any external appointments. There may occasionally be a need for a visit from a therapist or counsellor.'*

- 3.6 The only change to the interior of the property is the installation of an en-suite bathroom in one of the staff rest / sleeping rooms. Externally, the change would be the replacement of the French doors on the first floor to the rear, that currently provides access to a flat roof balcony, with a window. It is likely that the mock tudor cladding will also be removed, so the property will be restored to its original rendered appearance (to match the neighbouring property).
- 3.7 The rear outbuilding (existing annex) would be converted into an office for staff and a games / activity room for the children. The existing tarmaced parking area will be enlarged slightly and squared off to provide parking for 4 vehicles.

#### **4 Policy Considerations**

National Planning Policy Framework  
Havant Borough Council Borough Design Guide SPD December 2011  
Havant Borough Council Parking SPD July 2016

##### Havant Borough Local Plan (Core Strategy) March 2011

CS16 (High Quality Design)  
CS7 (Community Support and Inclusion)  
DM14 (Car and Cycle Parking on Development (excluding residential))  
DM7 (Elderly and Specialist Housing Provision)

Listed Building Grade: Not applicable.

Conservation Area: Not applicable.

#### **5 Statutory and Non Statutory Consultations**

##### **Councillor Gwen Robinson**

No comments received.

##### **Councillor Mike Sceal**

To be considered by the Planning Committee. Third parties would also wish to be heard at the Planning Committee.

This property has only three parking spaces if they start parking all up the road we are going to see accidents happening as it is right on the corner. This is also a residential

area not a place to put a business of this kind right on the main road.

**Officer comment:** *The number of on-site parking spaces has been increased from three to four, which accords with the Council's parking standards*

**Councillor Peter Wade**

No comments received.

**Crime Prevention -Minor Apps**

No comments received.

**Environmental Health Manager**

Final comments awaited; initial discussion suggests no objection in principle.

**Highway Authority - No Objection**

Having reviewed the documentation submitted in support of the above planning application Highways Development Planning is satisfied that the proposal would have no detrimental impact on highway safety or operation. A recommendation of no objection would therefore be given.

**6 Community Involvement**

This application was publicised in accordance with the Council's Code of Practice for Publicity of Planning Applications approved at minute 207/6/92 (as amended), as a result of which the following publicity was undertaken:

Number of neighbour notification letters sent: 6

Number of site notices: 1

Statutory advertisement: Not applicable.

Number of representations received: 14

The following is a precis of the representations received.

**Amenity**

- Constant & potentially health impacting noise, pollution activity & disturbance, due to single storey outbuilding use as a games room and onsite parking - close to residential properties - will children be supervised?
- Any proposal to mitigate the noise?
- Loss of privacy.

**Parking & Highways**

- No parking immediately off site, due to yellow line - adequate parking should be provided on site
- Inadequate parking provision on site, with all the visitors that use would generate
- Parking at a premium in the area - insufficient on street parking - exacerbated by Care Homes in the immediate locality and visiting vehicles
- Wallis Road is a cul-de -sac with Jubilee Park at the western end so traffic entering the road has to make a return journey so doubling traffic frequency.
- Use a highway hazard - located close to London Road - hazardous to exit from

#### Wallis Road

- Bus stop outside of site - drivers leave their vehicles in Wallis Road to catch the bus - children could abscond using the buses
- Additional traffic - aggravate an existing situation
- Restriction to the size of vehicles required.

#### Other

- Only suitably qualified staff should be recruited - lack of evidence that professional support would be provided for the children's needs
- Requirement to adhere to the The Children's Homes (England) Regulations 2015 - no experience demonstrated that this can be achieved.
- Young people could leave at any time.
- Who issues the licence for the home?
- Who would resolve any dispute arising?
- Increased anti-social behaviour - not a suitable environment for young children with difficulties - children likely to be vulnerable or have challenge behaviour
- Would not be a secure environment for children

## 7 Planning Considerations

7.1 Having regard to the relevant policies of the development plan it is considered that the main issues arising from this application are:

- (i) Principle of development
- (ii) Impact upon the character and appearance of the area
- (iii) Impact upon residential amenity
- (iv) Parking and highway issues

- (i) Principle of development

7.2 The application site is situated within an urban area where further development is considered acceptable subject to the usual development control criteria.

7.3 Policy CS7 (3) of the Havant Borough Local Plan (Core Strategy) 2011 (HBLPCS), provides for development that:

*"Provides services for older people and other vulnerable groups, including Extra Care Facilities"*

In the explanatory text it refers to *"...the need to address the specific needs of our community, in particular those of the young and old."*

7.4 The proposal is for a change of use of a B& B and a dwellinghouse, to a children's home. The current situation is that three bedrooms have been able to be rented in the main house, with four in the annex, since around 2005. This level of commercial use of the property would have given rise to a number of guests and visitors to the property over the years, which if operating at its maximum capacity (plus the residential element) would likely exceed the number of occupiers proposed by the change of use ie 4 children and up to 3 adults.

7.5 Information provided by the agent has shown that if this property was just a dwellinghouse (Class C3 use) and not a mixed use, then a children's home for 4 children and a small number of carers on the premises would not amount to a material



change of use of the property, requiring an application to the Local Planning Authority. That said, this is not the planning position before the Committee.

- 7.6 The proposal would provide accommodation for a vulnerable group and community support and inclusion, which is supported by Policy CS7 of the HBLPCS and the housing guidance in the National Planning Policy Framework.

(ii) Impact upon the character and appearance of the area

- 7.7 The physical changes to the property would be minor in nature, which would include internal works and the replacement of the French doors at first floor to the rear with a window. The mock Tudor cladding may also be removed, to be replaced with rendering, which would be in keeping.

- 7.8 As to the rear outbuilding (existing annex) this would be converted into an office for staff and a games / activity room for the children. The existing tarmaced parking area would be enlarged slightly and squared off to provide parking for 4 vehicles. This would still leave sufficient garden area to the rear.

- 7.9 The children's home would have up to 4 children and 3 staff at any time, with visitors from time to time. The existing use of the property is that of a B & B/residential, with 10 bedrooms, 7 of which may have been used for paying guests. The use of the property as a children's home for up to 4 children with 3 staff and visitors, and how it would be managed, would have similarities to a family home, which in this residential area, would not be out of keeping with the character and appearance of the area. The proposal would therefore accord with Policy CS16 of the HBLPCS.

(iii) Impact upon residential amenity

- 7.10 A number of concerns have been raised about the fear of anti-social behaviour, noise, disturbance and loss of privacy to residential amenity.

- 7.11 As to fear of anti-social behaviour this is capable of being a material consideration in determining the planning merits of the scheme. However, the basis of that fear must be the character of the use and not just the possible behaviour of some of the proposed occupiers. As to the character of a children's care home it is not considered inherent that the proposed use would have an adverse impact upon the local community. However, it is recognised that children with behavioural problems may result in anti-social behaviour and/or noise and disturbance.

- 7.12 When determining the application regard must be had to the existing lawful use of the premises: i.e. commercial (B & B) and residential. This lawful mixed use has the potential, on occasion, to give rise to a level of anti-social behaviour, or noise and disturbance, which may impact on the local community. Furthermore, if permission is forthcoming, the property would be registered and regulated by Ofsted which provides control over how the property would operate as a children's home. The children's home would also have its own rules. Having regard to all these factors, it is not considered that the use of the site as a children's home would be significantly damaging to the local community.

- 7.13 As to noise, disturbance and loss of privacy by staff and visitor parking, the car park to the rear is existing, albeit it will increase in size by 1 space (ie 4 instead of 3). This car parking area is used in connection with the existing commercial/residential use of the property, which has 10 bedrooms. From evidence before the Local Planning Authority up to 7 bedrooms could have been used by paying guests, with the

remaining 3 for the residential use of the property. The proposed change of use would lead to up to 3 staff being on site at any time and visitors, some of whom may drive to and park on the site. This is not considered to be a material increase in activity over the existing use of the property and may be a reduction in activities, over how the use operated, or could lawfully operate.

- 7.14 Concerning the use of the brick built rear outbuilding as an office for staff and a games / activity room, this has been used as 4 bedrooms for paying guests. The conversion of this building to a staff office and games/activity room ancillary to the current lawful use of the property could proceed without a planning permission from the Local Planning Authority, and be used by both family members and guests. As to the separation distance between the outbuilding and the property to the rear this is approximately 4m, with a 1.8m wooden fence along the boundary. As to the separation distance with No. 195 London Road to the north, this is approximately 14m, with 1.8m fencing and an extension to the main house along the northern boundary. Therefore, having regard to these factors, the use of the outbuilding as an ancillary office and play area for the children's home should not give rise to unacceptable level of noise, disturbance and loss of privacy to residential amenity.
- 7.15 Having regard to Policy CS7 of the HBLPCS there is a recognised need for accommodation for vulnerable groups, which the occupiers of this children's home would fall within. Therefore, the proposal is considered to accord with Policies CS7 and CS16 of the HBLPCS.

(iv) Parking & Highway Issues

- 7.16 The Highway Authority has been consulted on the proposal and *"...is satisfied that the proposal would have no detrimental impact on highway safety or operation."* Therefore, there are no highway objections to the proposal in terms of the capacity of the road network to accommodate the change of use proposed.
- 7.17 With regards to on-site parking, 4 spaces would be provided to the rear of the main house. As to staff and visitors to the home, the applicant has advised that:
- "Non-residential staff will supervise the residents on a 24 hour shift system. During school hours and overnight (10pm – 7am) there would be a maximum of 2 care support workers in the property. Outside of these hours there could be up to 3 care workers, depending on the number of children residing in the home and their care needs. There would also be regular visits from a supervisor or manager."*
- 7.18 The car parking standards for children's homes are set out in Havant's Car Parking SPD. This sets out parking standards for children's homes whereby for non-residential staff 0.5 space should be provided for each staff member; and 0.25 spaces per client. In the case of the current application, up to 3 staff could be on site during the day, with 2 overnight, plus visits from a supervisor or manager. This would result in a maximum of 4 staff in total on site at any one time, with a requirement for 2 spaces. With four residents (clients) one further space would be required in addition to the staff spaces.
- 7.19 In the current application four off-street parking spaces would be provided in total. These spaces would provide for staff and visitors, thereby avoiding the need, normally, to park on the highway. The proposed parking provision exceeds the car parking requirement set out in Havant's Car Parking SPD and accords with Policy DM13 of the HBLPCS. Therefore, there are no on-site parking issues associated with the development. As to cycle provision, two cycle racks would be provided, which exceeds

that required by the SPD.

## **8 Conclusion**

- 8.1 Having regard to the existing mixed use of the property, the proposed change of use to a children's home should not significantly impact on the character and appearance of the area or residential amenity, and is supported in principle by Policy CS7 of the HBLPCS. In parking and highways terms the proposal is acceptable. Therefore, the proposal is considered to be appropriate and recommended for approval with appropriate conditions and informatives.
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## **9 RECOMMENDATION:**

That the Head of Planning be authorised to **GRANT PERMISSION** for application APP/20/01180 subject to the following conditions:

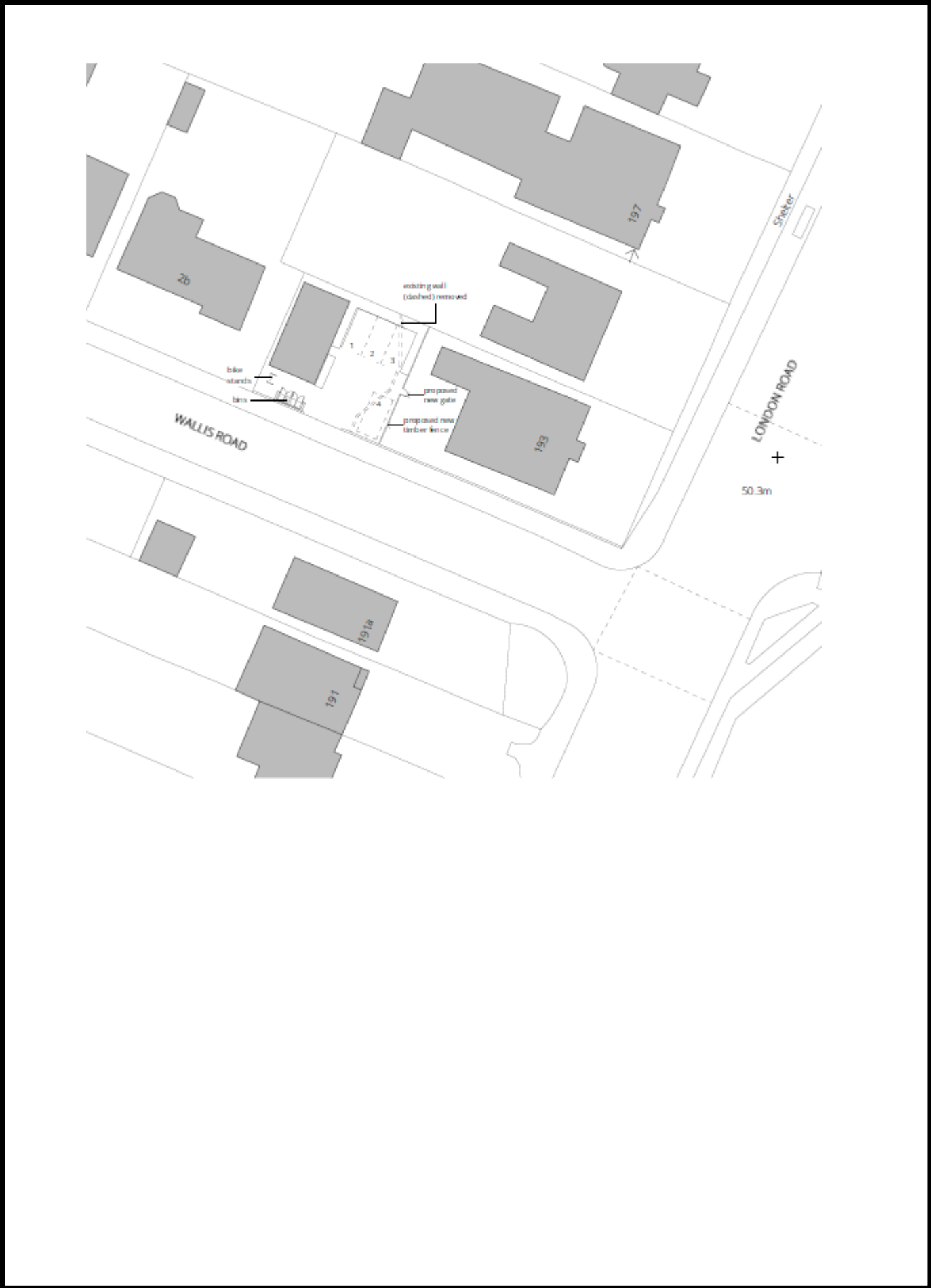
- 1 The development must be begun not later than three years beginning with the date of this permission.  
**Reason:** To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:  
  
Design & Access Statement  
Site Location Plan - Drawing No. H-NM-236.01B  
Block Plan - Drawing No. H-NM-236.02B  
Plans Proposed - Drawing No. H-NM-236.04B  
Letter dated 5 February 2021 from Southern Planning Practice Ltd.  
  
**Reason:** - To ensure provision of a satisfactory development.
- 3 The car parking and other vehicular access arrangements shown on the approved plan No. H-NM-236.02 REVB to serve the development hereby permitted shall be made fully available for use prior to the development being first brought into use and shall be retained thereafter for their intended purpose.  
**Reason:** In the interests of highway safety and having due regard to policy DM13 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.
- 4 The number of children residing in the children's home shall be limited to 4 only from 10 years up to 18 years unless otherwise agreed in writing with the Local Planning Authority.  
  
**Reason:** In the interests of amenity having due regard to policies DM7 and CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

**Appendices:**

- (A) Location Plan
- (B) Block Plan
- (C) Proposed Floor Plans



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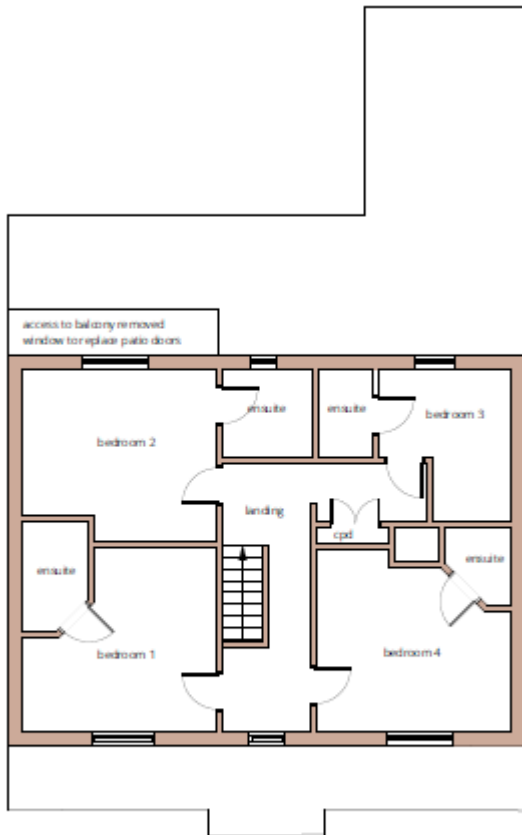


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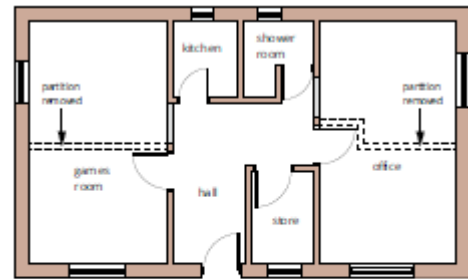




Ground Floor Plan



First Floor Plan  
House



Ground Floor Plan  
Annexe

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Havant Borough Local Plan (Core Strategy) March 2011

CS11	(Protecting and Enhancing the Special Environment and Heritage of Havant Borough)
CS16	(High Quality Design)
CS17	(Concentration and Distribution of Development within the Urban Areas)
DM8	(Conservation, Protection and Enhancement of Existing Natural Features)

Havant Borough Local Plan (Allocations) July 2014

AL1	(Presumption in Favour of Sustainable Development)
AL2	(Urban Area Boundaries and Undeveloped Gaps between Settlements)

Listed Building Grade: Not applicable.

Conservation Area: Not applicable.

**5 Statutory and Non Statutory Consultations**

**Arboriculturalist**

The AIA is comprehensive, and I am confident that it is fit for purpose in relation to protecting the trees and addressing the constraints they present.

The high-quality trees are scheduled for retention with only a limited amount of facilitation pruning which I consider to be acceptable, there is some loss of lower grade trees, however these trees could be removed based on their poor condition regardless of any development plans on site.

If permission is given, then it must be in strict adherence to the AMS - specific reference to sections 6.6 and 6.7 and compliant with the supplied TPP, there must also be a condition for arboricultural supervision from the Arb Consultant as outlined in the report.

If the AMS and TPP are conditioned and adhered to then I raise no objection.

**Chichester Harbour Conservancy**

Comments awaited

**Councillor D Guest - St Faith's**

No comment

**Councillor J Branson - St Faiths**

No comment

**Councillor T Pike - St Faith's**

No comment

**Developer Services, Southern Water**

Please see the attached extract from Southern Water records showing the approximate position of our existing surface water sewer within the development site. The exact position of the public asset must be determined on site by the applicant in consultation with Southern Water before the layout of the proposed development is finalised.

- The public surface water sewer requires a clearance of 3 metres on either side of the gravity sewer to protect it from construction works and to allow for future maintenance access.

- No development or tree planting should be carried out within 3 metres of the external

edge of the public sewer without consent from Southern Water.

- No soakaways, swales, ponds, watercourses or any other surface water retaining or conveying features should be located within 5 metres of public sewers.
  - All existing infrastructure should be protected during the course of construction works.
- Please refer to: [southernwater.co.uk/media/3011/stand-off-distances.pdf](https://southernwater.co.uk/media/3011/stand-off-distances.pdf)

We have restrictions on the proposed tree planting adjacent to Southern Water sewers, rising mains or water mains and any such proposed assets in the vicinity of existing planting. Reference should be made to Southern Water's publication "A Guide to Tree Planting near water Mains and Sewers"

([southernwater.co.uk/media/3027/ds-tree-planting-guide.pdf](https://southernwater.co.uk/media/3027/ds-tree-planting-guide.pdf)) and the Sewerage Sector Guidance ([water.org.uk/sewerage-sector-guidance-approved-documents/](https://water.org.uk/sewerage-sector-guidance-approved-documents/)) with regards to any landscaping proposals and our restrictions and maintenance of tree planting adjacent to sewers, rising mains and water mains.

It is possible that a sewer now deemed to be public could be crossing the development site. Therefore, should any sewer be found during construction works, an investigation of the sewer will be required to ascertain its ownership before any further works commence on site.

Southern Water requires a formal application for any new connection to the public foul and surface water sewer to be made by the applicant or developer.

To make an application visit: [southernwater.co.uk/developing](https://southernwater.co.uk/developing) and please read our New Connections Services Charging Arrangements documents which are available on our website via the following link: [southernwater.co.uk/connection-charging-arrangements](https://southernwater.co.uk/connection-charging-arrangements) In situations where surface water is being considered for discharge to our network, we require the below hierarchy for surface water to be followed which is reflected in part H3 of the Building Regulations. Whilst reuse does not strictly form part of this hierarchy, Southern Water would encourage the consideration of reuse for new developments.

- Reuse
- Infiltration
- Watercourse
- Storm Sewer
- Combined Sewer

Guidance on Building Regulations is here:

[gov.uk/government/publications/drainage-and-waste-disposal-approved-document-h](https://gov.uk/government/publications/drainage-and-waste-disposal-approved-document-h)

**Officer comment:** *The plan supplied with the consultation response shows all sewers in the vicinity lying outside of the application site. Coupled with the fact that this application proposes only first floor additions, no adverse impacts to existing sewers are considered likely to occur.*

**Property Services Manager**

No comments received

## **6 Community Involvement**

This application was publicised in accordance with the Council's Code of Practice for Publicity of Planning Applications approved at minute 207/6/92 (as amended), as a result of which the following publicity was undertaken:

Number of neighbour notification letters sent: 1

Number of site notices: 1

Statutory advertisement: Not applicable.

Number of representations received: 0

## **7 Planning Considerations**

7.1 Having regard to the relevant policies of the development plan it is considered that the main issues arising from this application are:

- (i) Principle of development
- (ii) Appropriateness of design and impact on the character of the area
- (iii) Impact on the AONB
- (iv) Effect on neighbouring properties
- (v) Trees
- (vi) Ecology
- (vii) Parking

(i) Principle of development

7.2 The application site is not within the defined urban area, therefore development should only be permitted if it is consistent with the policies for the countryside set out in national policy as specified in Policy CS17 of the Havant Borough Local Plan (Core Strategy). Whilst the principle of new dwellings is not supported in non-urban locations, in this case the application proposes modest extensions to existing buildings, and no objection is raised to this as a matter of principle as it accords with Policy AL2 of the Allocations Plan.

(ii) Appropriateness of design and impact on the character of the area

7.3 The proposal comprises renovations including first floor side extensions on either side of the building to both no 1 and no 2. The extensions would be sited above the existing single storey side extensions and would have pitched roofs, with a catslide roof slope design towards the principal elevation. The roof ridge lines would have a maximum height of approximately 6.5 metres, set below that of the main roof and the total depth would span that of the existing dwelling, with the cat slide roof projecting slightly forward of the front elevation to create an overhanging porch roof supported by posts. The width would follow that of the existing ground floor. This space would allow for internal reconfigurations, creating space for a relocated stairwell and a bathroom at first floor level. The internal layout would be mirrored on both properties as would the building line and design of the extensions. Proposed materials include masonry with a cream render finish and slate roof tile. The proposal also includes the removal of existing concrete surfaces to the rear and other minor alterations to landscaping.

7.4 The proposal also includes alterations to fenestration which comprises windows to each side elevation of the extensions which would serve the stairwell, following the removal of the existing ground floor bathroom windows. First floor windows are also proposed to the rear elevation which would serve the rear bathrooms at each property. Doors would be in painted timber and windows in white upvc.

7.5 The proposed first floor side extensions would not add any additional footprint to the host dwellings over and above that already existing, and would appear modest in scale within the context of the host dwellings. The design is deemed to be subservient in

appearance to the existing properties, with proposed materials also in keeping with those existing. The Havant Borough Design Guide SPD offers guidance on features which allow for high quality design. It states that:

*"5.35 In general, an extension should not be bigger than the main building and therefore should appear smaller in mass and height. Extensions should look to the existing building as the main reference point for appearance, materials and details such ridge, verge and eave finishes, head and cills, brick coursing, dressings and quoin work. The positions and proportions of solid wall to opening of windows and doors is also important. The roof form and slope should also reflect that of the main building."*

- 7.6 In this instance, this proposal is judged to meet the above criteria - although the cat-slide roof slopes would be a new design characteristic of the properties, this is not deemed to be harmful. In addition, the ridge lines would be set below that of the main roofs, retaining a subservient aesthetic. The proposals are not judged to cause harm to the character of the area - taking note of the site setting in a semi-rural location, the extensions as proposed are not judged to be out of keeping for a property in this siting. The site location and boundary screening would also mean the extensions, particularly for no 1, are not prominent from the public realm.
- 7.7 Overall the design and appearance of the proposal is deemed appropriate in context to the host buildings and their setting and is therefore considered to be acceptable, meeting the requirements of Policy CS16 of the HBLP (Core strategy). It is considered that the scheme would not result in an adverse impact on the visual amenity of the locality.

(iii) Impact on the AONB

- 7.8 This application site is located towards the northern boundary of the Chichester Harbour AONB. The remainder of the AONB stretches towards the south and east. Policy CS12 of the Core Strategy 'Chichester Harbour Area of Outstanding Natural Beauty (AONB)' states that development will be permitted where it "Conserves and enhances the special qualities of the Chichester Harbour AONB (as defined in the Chichester Harbour AONB Management Plan)".
- 7.9 The Chichester Harbour AONB Joint SPD has been adopted by Havant Borough Council and this proposal is considered to fit with the SPD criteria as the design is deemed subservient in scale and proportion to the main dwellings. The SPD also states that render can be acceptable if appropriately coloured and in this case the cream render as proposed would reflect that of the existing property. When considered within the wider landscape of the AONB the extensions are not considered to appear visually harmful.

(iv) Effect on neighbouring properties

- 7.10 The closest properties to the application site are nos 3 and 4 Church Lane which are located approximately 20 metres from the site boundary. An additional window would be located at 1.5 storeys facing in the direction of these properties, however this would serve the stairwell and therefore would not offer sustained views. In addition the separation distance meets the minimum distance (back to back relationships) of 20 metres as specified in the Havant Borough Design Guide and the relationship between the properties, with the window offering views towards the front gardens of nos 3 and 4 is not considered to be harmful. The proposal is not considered to give rise to any overshadowing or overbearing character in terms of impact on surrounding properties.

7.11 Consequently, it is considered that the proposal will not appear overbearing or lead to overlooking and would have limited and acceptable impact on the properties immediately adjacent to the application site, meeting the requirements of Policy CS16 of the HBLP (Core Strategy). It is noted that at the time of drafting this report, no letters of objection have been received with respect to the scheme.

(v) Trees

7.12 Whilst there are no TPO trees on site, there are several mature trees within the site, including an oak and beech tree to the south east and an apple tree towards the north of the site. Towards the west are trees mixed amongst hedgerow, including elm trees which would be felled, as would the apple tree to the north. The Council's Arboricultural Officer has been consulted in this regard and has stated the following:

*"The AIA is comprehensive, and I am confident that it is fit for purpose in relation to protecting the trees and addressing the constraints they present. The high-quality trees are scheduled for retention with only a limited amount of facilitation pruning which I consider to be acceptable, there is some loss of lower grade trees, however these trees could be removed based on their poor condition regardless of any development plans on site.*

*If permission is given, then it must be in strict adherence to the AMS - specific reference to sections 6.6 and 6.7 and compliant with the supplied TPP, there must also be a condition for arboricultural supervision from the Arb Consultant as outlined in the report.*

*If the AMS and TPP are conditioned and adhered to then I raise no objection."*

7.13 The conditions requested are incorporated within the officer recommendation, and on this basis it is considered that the development would not adversely affect existing trees of significance and would meet the requirements of Policy DM8 of the HBLP (Core Strategy).

(vi) Ecology

7.14 To the south of the site is a low use site for Brent Geese and Waders, however this is not immediately adjacent to the site, with Church Lane separating it from the application site. The Council's Ecologist has noted the separation of the sites and has advised that the proposal is unlikely to have any harmful impact.

(vii) Parking

7.15 There are two car parking spaces allocated per dwelling as well as cycle storage. As no additional bedrooms would be provided as part of the proposed development, no additional parking allocation is required on site.

## **8 Conclusion**

8.1 The scale, siting and design of the proposal would have limited and acceptable impact on the character of the area, the AONB and the neighbours and is therefore considered to be appropriate and recommended for approval.



## 9 RECOMMENDATION:

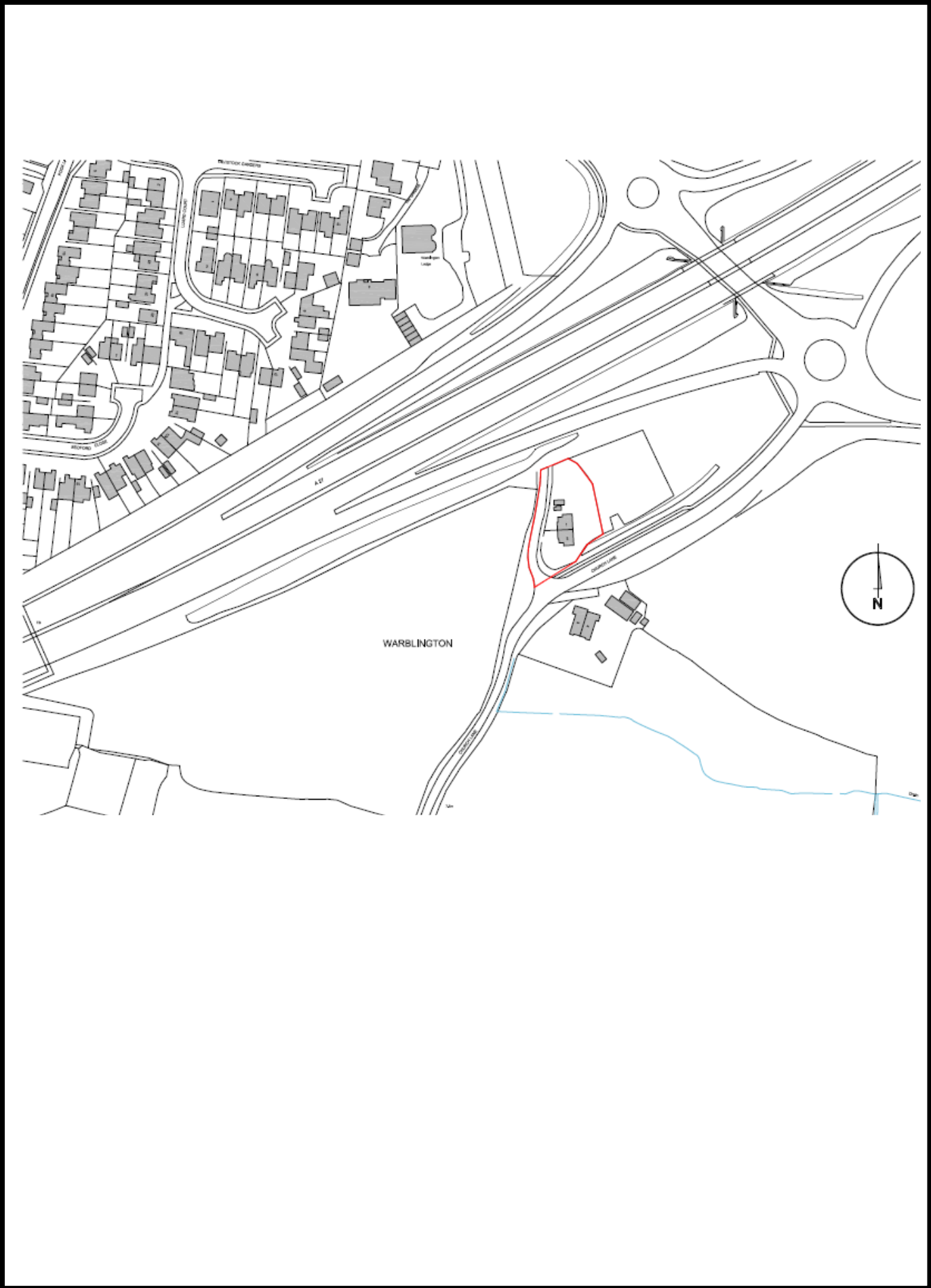
That the Head of Planning be authorised to **GRANT PERMISSION** for application APP/21/00063 subject to the following conditions:

- 1 The development must be begun not later than three years beginning with the date of this permission.  
**Reason:** To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:  
  
28098-PD100 Location plan  
28098-PD102 Proposed site plan  
28098-PD103 Existing and proposed block plans  
28098-PD120 Proposed floor plans and elevations  
Arboricultural Method Statement 1167.bjh.Feb21 uploaded on the 23.02.2021  
Tree Constraints Plan BJH 01/02 uploaded on the 23.02.2021  
Tree Protection Plan BJH 03/04 uploaded on the 23.02.2021  
  
**Reason:** - To ensure provision of a satisfactory development.
- 3 The external materials used shall match, in type, colour and texture, those of the existing building so far as practicable.  
**Reason:** In the interests of the amenities of the area and having due regard to policy CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.
- 4 The proposed development shall be constructed and completed in full adherence to the Arboricultural Method Statement & Tree Protection Plan Bernie Harverson Ref: 1167.bjh.Feb21. Any variations to the details of the document and plans shall only be undertaken after the proposed variations have been agreed in writing by the Local Planning Authority.  
**Reason:** In the interests of the future health and vitality of retained trees, and to comply with policy DM8 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.
- 5 There shall be arboricultural supervision on site from an arboricultural expert during any works taking place which may impact any tree RPA in line with the specifications outlined in the Method Statement plan (Bernie Harverson Ref: 1167.bjh.Feb21) .  
**Reason:** In the interests of the future health and vitality of retained trees, and to comply with policy DM8 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

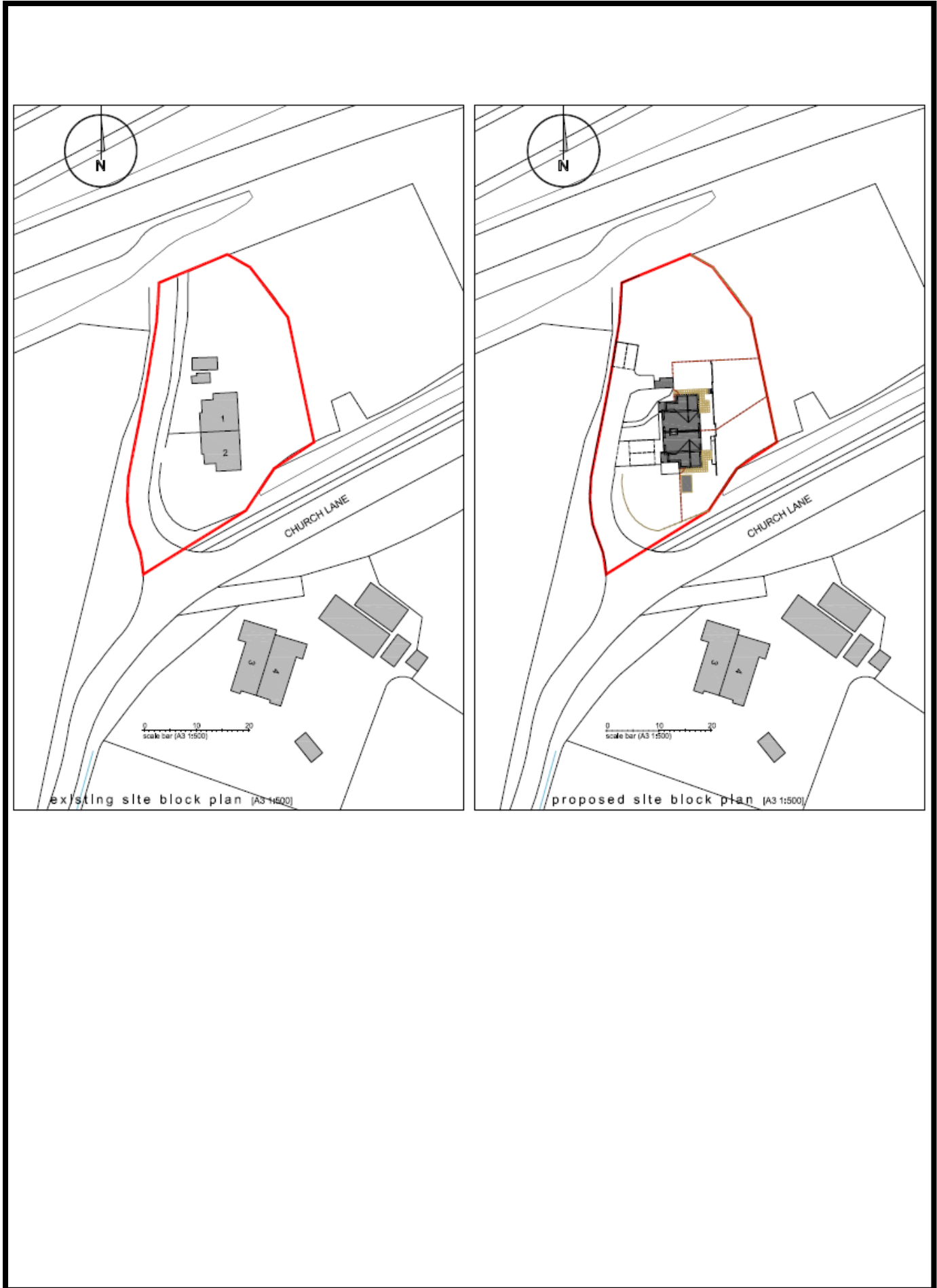
### Appendices:

- (A) Location Plan
- (B) Existing and Proposed Block Plan

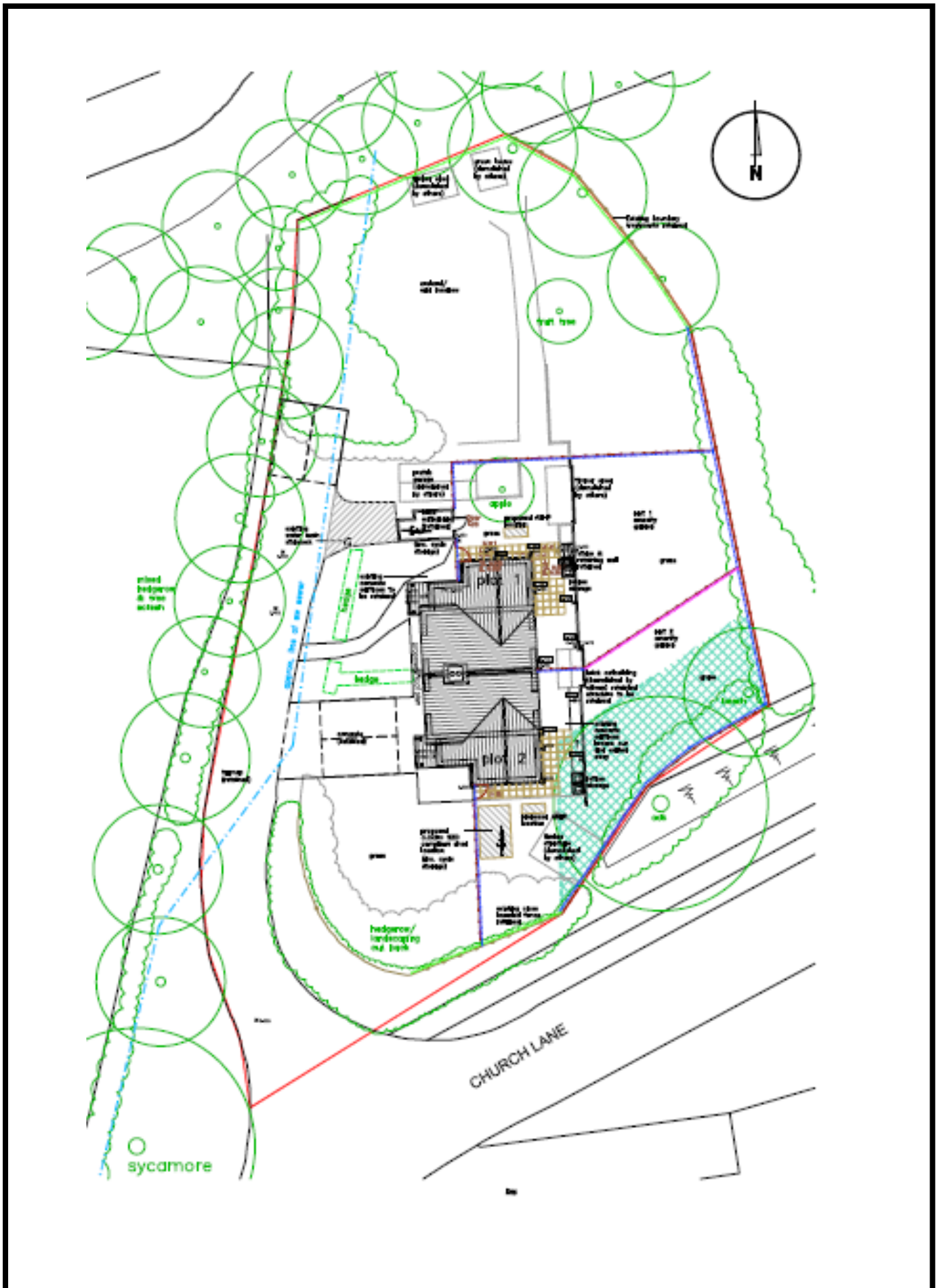
- (C) Site Plan with Root Protection Zone
- (D) Proposed Floor Plans and Elevations
- (E) Photograph of front elevation
- (F) Photograph of side elevation



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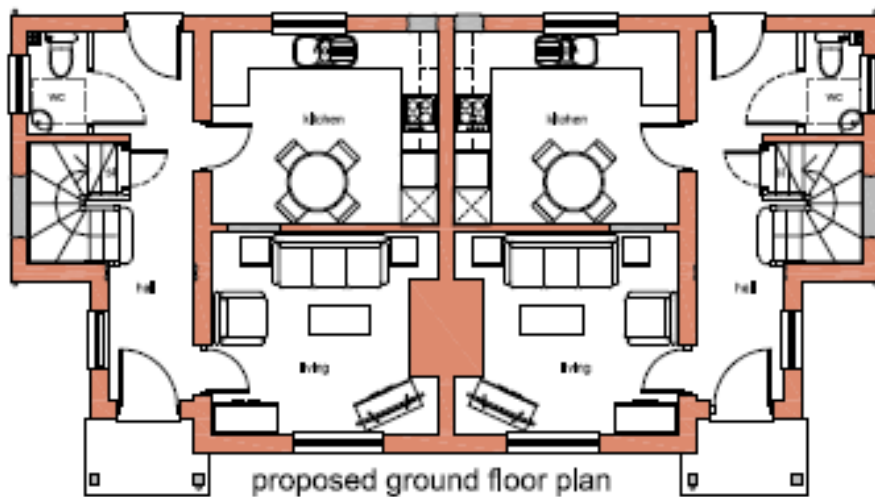
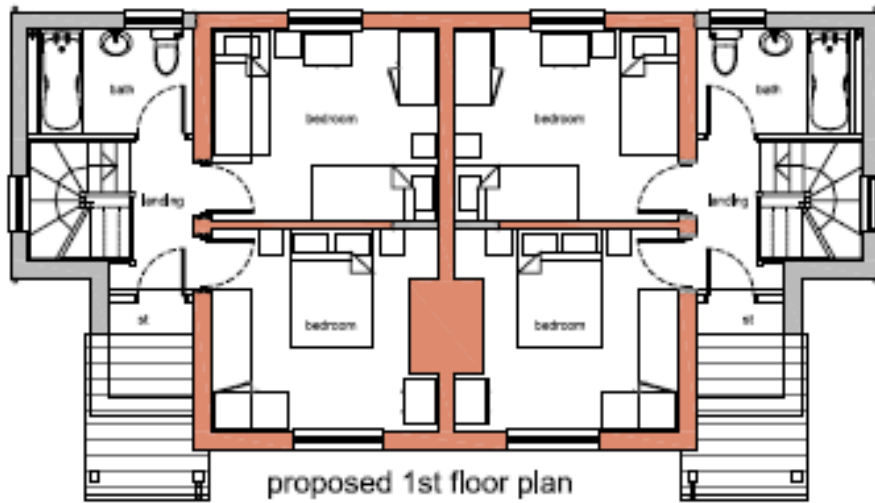
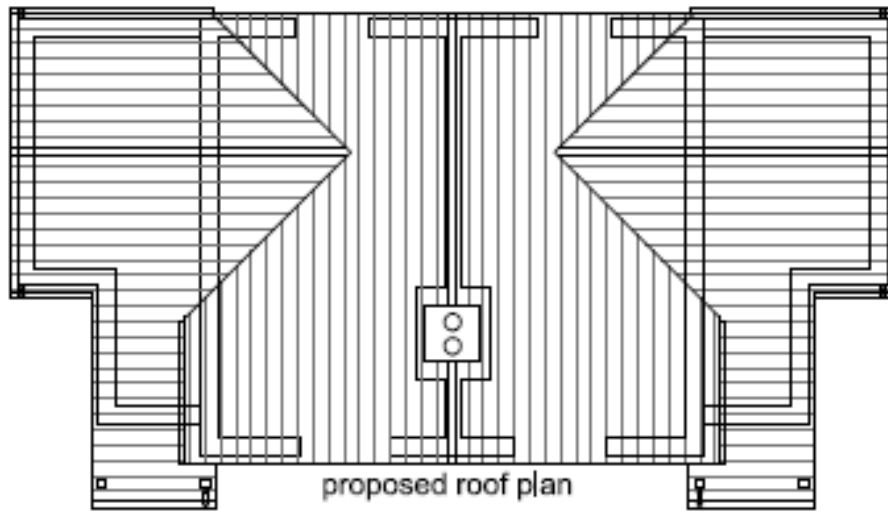


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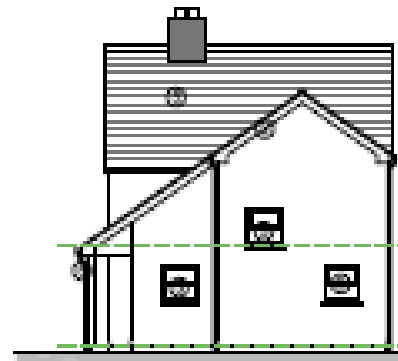




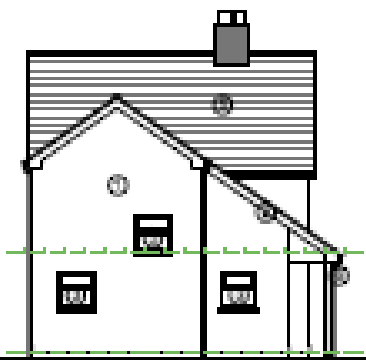
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proposed front (west) elevation



proposed side (south) elevation



proposed side (north) elevation



proposed rear (east) elevation

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